

Port of Camas-Washougal East Industrial Park Master Development Plan

Open House and Public Feedback

May 27, 2009 Open House
Summary Report and Public Comments



Open House Overview

The Port of Camas-Washougal is undergoing a process to establish a Master Development Plan for the East Industrial Park. A second open house was held as part of this process; the event focused on the draft land use options that are currently being considered and generating public input and preferences for the options. The Open House was held on Wednesday, May 27th from 4 to 6 p.m. at the Port of Camas-Washougal office located at 24 South A Street. Approximately nine people attended the open house. Project team members staffed the event and answered attendees' questions. Project team members present at the event included:

- Damon Webster, Mackay & Sposito
- Beth Holmes, Mackay & Sposito
- Bryan Cole, Mackay & Sposito
- Bob Sable, Mackay & Sposito
- Jennifer McClure, Mackay & Sposito
- Francis Naglich, Ecological Land Services
- Karey Bock, Ecological Land Services
- David Ripp, Port of Camas-Washougal
- Scot Walstra, Port of Camas-Washougal
- Mary Murphy, Port of Camas-Washougal
- Adrienne DeDona, JLA Public Involvement
- Laura DeGraw, JLA Public Involvement

Purpose

The Port of Camas-Washougal is in the process of creating a Master Development Plan for the 122-acre East Industrial Park, located east of the Port's Washougal Industrial Park. The purpose of the master plan is to maximize the economic potential of the Port by providing predictability during future phases of development, while at the same time maintaining flexibility needed to meet market demands.

The Port narrowed down a number of preliminary ideas for development of the East Industrial Park site based on feedback received by stakeholders and the community-at-large through one-on-one interviews and an initial open house held on February 19, 2009. After receiving feedback on various design options, the Port created a site inventory and analysis plan, and three conceptual land use planning options. The conceptual land use options will help the Port eventually decide on a preferred option that will serve as the master plan for development of the East Industrial Park property.

The objective of the second Open House for the East Industrial Park Master Development plan was to present and explain the three conceptual land use planning options currently being considered and generate public input and preferences for the various options.

Format

The meeting was an informal, drop-in style open house in which participants were invited to review information on display boards, talk to staff, and submit comments, either through a comment form or on flip charts at each station. Staff from the Port, Mackay & Sposito, ELS and JLA were on hand to help direct people, answer questions and collect comments.

Participants were led through a discussion and explanation of the site inventory analysis and the three conceptual land use planning options by Bryan Cole of Mackay & Sposito. The presentation provided a general overview of the project, including the assumptions, the process and a description of all the land use options currently being considered.

The event included the following stations:

Sign in and Comment Table

Participants signed in with their contact information, and received copies of the land use planning options handout. Attendees were also encouraged to complete comment forms to provide their input on the project.

Project Background and Overview

This station provided participants with information on the project timeline, deliverables, Guiding Principles and a flowchart of the decision-making process with project history.

Site Inventory Analysis

This display presented the existing conditions of the property, land uses and municipal boundaries.

Draft Land Use Options A, B and C

This station included graphic displays of the three land use options. These Land Use Options are intended to demonstrate a range of three different intensities for potential development on the East Industrial Park property. The options are conceptual only and are meant to represent the range of development intensities available for the property, based on previous planning efforts, code requirements and other site constraints.

Wetlands/Environmental Constraints Study

Information at this station was provided by consultants from Ecological Land Services (ELS). ELS is currently analyzing the site for possible wetlands to determine final wetland boundaries. The steps involved in analyzing the wetland mitigation process were outlined and mitigation options were explained, including a description of a piezometer and how this tool will be used to collect data regarding the environmentally constrained areas on the site.

This station also provided information about the status of historic and existing farming activities onsite.

Outreach

The Port of Camas-Washougal used the following outreach efforts to notify and invite citizens to the open house:

- Press release distributed to the Camas-Post Record and the Columbian on May 14, 2009.
- Website announcement on the Port of Camas-Washougal main page.
- Website announcement on the East Industrial Park project page.
- E-mail notice to Port distribution list.
- E-mail notice to stakeholders and stakeholder interviewees.
- Announcements at May 4th, May 18th and May 19th Port Commission Meeting.
- Announcement on Port reader board during the week of May 25th.
- Announcement in *Chamber Chat* on May 20th.
- Notification to the cities of Camas and Washougal.

Public Comments Summary

Citizens were invited to comment on the East Industrial Park Master Development Plan through a variety of methods, including:

- Comment forms available at the May 27 open house
- An online survey, launched on May 22
- “Sidewalk surveys” conducted on June 19, in which project team members asked citizens at various Camas locations to provide feedback on the project.

One citizen completed a comment form at the open house, eleven people completed the online survey, and eighteen citizens participated in the sidewalk surveys. Three people also sent in additional comments by mail or email. The following is a summary of all responses collected.

General Questions

Do you work, own property, or engage in recreational activities near the East Industrial Park?

Eleven people indicated that they work near the East Industrial Park; six responded that they own property or business nearby; and eleven replied that they engage in local recreational activities. Eleven sidewalk survey participants also noted that they live in the Camas-Washougal area, and one responded that he lives in Vancouver. Some of the respondents who use the area recreationally provided additional information; five noted that they hike or bike in the dike area, and two noted that they enjoy the Steigerwald Lake Wildlife Refuge. One commented that the Friends of the Columbia Gorge organization leads hikes and stewardship events in the area. A group of stakeholders approached during the sidewalk surveys stated they regularly use the Fern Prairie Modeler’s field flying area (within the East Industrial Property) for recreational use. One noted that they manage the Steigerwald Lake Wildlife Refuge adjacent to the East Industrial Park.

When considering the purpose of the East Industrial Park, how important are the following to you?

Participants were asked to rate five elements on a scale of one to five (1 = least important and 5 = most important). The following is the average rating from one comment form, 18 sidewalk surveys, and 8 online surveys.

Project Purpose Elements	Average Rating
Creating employment in the region	4.0
Protecting nature reserves	4.4
Enhancing industrial use	2.7
Enhancing business/commercial use	3.4
Enhancing public and recreational facilities	4.0

Three people provided additional comments. One noted that enhanced industrial use should promote local employment rather than bringing in non-residents. Another noted that he highly supported creating retail/business jobs, but does not support more industrial employment. A third commented that the business/commercial use and enhanced public and recreational facilities should be intertwined.

Land Use Options

Participants were asked what they like best and what concerns they have about the three land use options being proposed for the East Industrial Park. The following is a summary of responses for options A, B, and C.

Option A: What do you like best about this option?

Eight respondents answered this question. In general, they were supportive of extending the existing industrial area, and saw this option as the highest utilization of land and thus maximizing the return on investment for the Port and taxpayers. Three added that this option had the highest potential for job creation. One replied that Cottonwood Beach Park already provides more than ample open space and river access. Two responded noted that they liked nothing about the option.

Option A: What concerns do you have about this option?

Twelve respondents answered this question. Three commented that the option does not include enough green space; three others were concerned that there is already too much industrial development in the area with vacant lots, and that more land used in this way would not be economical. One was concerned about smooth integration with the wildlife refuge, and another commented that industry impedes into wildlife access

to river. One person worried about the expense of wetlands mitigated off site that might be required.

One person noted that the island of green space did not make sense. Another was concerned about the rail line.

Option B: What do you like best about this option?

Thirteen respondents answered this question. Four noted that it was a good middle-of-the-road option that balances industrial use and green space. Four liked that this option includes more green space than option A.

One person favored that this option includes less rail than option A. One appreciated that this option has less green space than option C, and suggested that wetlands be mitigated in the open and park spaces. Another added that this option should only be implemented if the Port is compensated by County Parks. Two noted that they are not in favor of the option.

Option B: What concerns do you have about this option?

Eight respondents answered this question. Two replied that it does not include enough green space. Three people were concerned that there was too much green space, and thus the property's potential was not being maximized because industrial parks do not require internal open space. One suggested that the triangle above Steigerwald should be added to developable land. One person wanted more specific plans on how green space would be used. One other respondent was concerned about the railroad.

Option C: What do you like best about this option?

Fourteen people responded to this question. Eight of these people like that this option includes the least amount of development and maintains the most green space and parks. Another person added that the park space on the waterfront was important. One noted that this option has the lowest impact on storm water runoff, and connects green space with the wildlife refuge, and could be good for businesses or industry in the area to take advantage of good views and green space to enjoy. One added that this option allows the maximum use of green space in the development area and adjacent to the refuge, which would reduce negative impact to the wildlife and public using the refuge.

One person appreciated that this option does not compromise the aesthetics of the existing trail along the river. One person commented that this option was good split of multiple uses. Another noted that this was a good option because it minimizes wetlands impact and the need to mitigate wetlands offsite, which is difficult and expensive.

Option C: What concerns do you have about this option?

Ten people responded to this question. One noted that this option represented a loss of developable land, and limited traffic access, and another suggested that the triangle of land above Steigerwald Refuge be developable. Two responded that this option created incompatible land uses, as industrial and recreational use should not mix; one of these noted that the dike is a perfect barrier separating industrial use from recreational.

One wanted to hear specific plans for what would be done with the green space. One was unsure of the triangular shaped piece of development area, suggesting it might be better to square it off, which would offer less intrusion into the refuge boundaries.

Another was concerned that open space is not very accessible other than via the dike trail or the Columbia River. One had concerns about the railroad. Two noted that this is the least favorable option, and a waste of taxpayer money.

Option Preference

Participants were asked which of the options they most preferred, and why. Twenty-seven people responded to this question, as shown in the chart:

Options	Number of respondents who favored this option
Option A	6
Option B	5
Option C	13
Option B or C	1
Option A or C	1
No opinion	1

Option A comments

All six people who supported option A noted that it was the best way to create jobs and bring in new business, especially industrial. One noted that Option A maximizes developable area, and that Options B and C do not capture the value of increased open space.

Option B comments

Three people noted that Option B strikes a good balance between industrial use and green space. One noted that Option A was unrealistic because there would likely not be enough tenants for the industrial area, but that Option C would not bring in enough money for the type of investment; this person suggested more aesthetic commercial rather than industrial development.

Option C comments

Eight people who preferred Option C felt that it includes the most green space, and thus has the least impact on recreational and natural resources. Of these respondents, one also commented that it minimizes the impact to wetlands, and one noted that the amount of green space would be good to attract businesses and offices looking for a view.

One person noted that this is the most balanced approach for industrial and recreational use. Another pointed out that the area already has enough industrial development and does not need any more.

Other options

One person replied that she preferred either options B or C for their preservation of green space. Another said that he would choose Option C if the area were to be developed as a business/retail center, and Option A if it were to be developed as an industrial area. This person stated that the area does not need more industrial development, but could benefit from more business/retail areas with restaurants and shops, similar to the new river front project concept.

Improvements to Options

Respondents were asked what could be done to improve their preferred option. They responded:

Option A improvements

One suggested adding more property to the project. Another noted that the project team should pay better attention to consideration of traffic flow, and use of wetlands and refuge to enhance business environment. A third responded that a dike separating incompatible uses is most preferred, and that industrial park uses are most compatible with wildlife due to less people and pets impact.

Option B improvements

One person suggested adding pedestrian walkways to the green space areas, and using alternative energy sources in buildings. Two people suggested adding food courts or restaurants in the land along the river.

Option C improvements

Suggestions for improving option C included:

- Add a Frisbee disco space in the area
- Keep area where trail is to be natural
- Add a Costco, Fred Meyer, or other one-stop-shopping store
- Remove the rail road
- Create a corridor of green space along the entire walking area
- Make sure that uses along the Dike Trail and further east are compatible with recreational and natural resources to the south and east
- Add additional open space on the water front, and restaurants

Additional Comments

- Members of the model plane flying group use the area frequently, and would prefer that future planning not obstruct airspace for their use. They would like to

see inter-state flying events take place in the area, which would require more open space, and better parking for the group to use.

- Green space is very important.
- The Port should consider whether or not there is a need for more industrial space. How many vacancies are there in the current industrial park?
- Concerned about type of industry; would not like to see heavy chemical or some other hazardous industry.
- There is really not a need for more parks, but the existing parks and Steigerwald should be preserved.
- Thanks for asking the public for input.
- There is a serious shortage of commercial, highway commercial and industrial property in this area. More needs to be done to help small business grow and prosper in the area, and help recruit new industries to the tax base.
- Industrial land is in very short supply. If we want our children to be able to live and work in Clark County, land needs to be set aside for industrial users. These businesses are the life blood of our community. Any encroachment of their industrial preserve sends a clear signal that they are not welcome in our community.
- The options do not seem to reflect a lot of innovative planning or consideration for integration with existing industrial (West) and refuge (East).
- It's been frustrating to see the downtown development and other areas still going unused. Why keep developing these areas only to go unused? Please be realistic in the development, as we have seen the "build it and they will come" theory does not work.
- I appreciate the fact that the Port has provided the opportunity for the public to comment on suggested options which are much more compatible with the natural habitat on and around the Industrial Park (Options B and C).

Appendix of All Responses

Comment Form Response *(1 comment form collected)*

Do you work, own property, or engage in recreational activities near the East Industrial Park?

- Recreational use, hiking and bicycling on bike path. Will enjoy Steigerwald Lake Wildlife Refuge

When considering the purpose of the East Industrial Park, how important are the following to you:

- Creating employment in the region: 4
- Protecting nature reserves: 5
- Enhancing industrial use: 2
- Enhancing business/commercial use: 4
- Enhancing public and recreational facilities: 4

Option A: What concerns do you have about this option?

- Industry impedes into wildlife access to river, such as ducklings making their way to the water.

Option C: What do you like best about this option?

- Parks and open space retained. Low impact on storm water runoff. Good features: green space connects with wildlife refuge. Surrounding industries can appreciate the view and enjoy the green space. Could be a good real estate sales feature, looking out on green space for doctor offices, retail and business offices.

Which option do you MOST PREFER and why?

- Option C, it is the most usable, visible use of green space. Best layout for accessibility to businesses. Center proposed green space offers good view for offices. Could attract retail, medical and restaurants.

Is there anything else that you would like to share with us?

- Thanks for asking the public for input.

Sidewalk Surveys (18 participants)

Do you work, own property or engage in recreational activities near the East Industrial Park?

Work	7
Own Property/Business	3
Recreational Use	3

Other:

- Fern Prairie Modeler’s field flying (recreational use)
- Eleven noted that they live in the Camas-Washougal area, and one responded that he lives in Vancouver.

When considering the purpose of the East Industrial Park, how important are the following to you? (average ratings from the 18 participants)

Creating employment in the region	4.1
Protecting nature reserves	4.7
Enhancing industrial use	2.5
Enhancing business/commercial use	3.5
Enhancing public and recreational facilities	4.3

Comments:

- Enhanced industrial use should be for promotion of jobs for people living in the area (keep local jobs for local people)
- When creating employment in the region, creating retail/business jobs is most important (i.e. “5” rating), and creating industrial jobs is least important (i.e. “1” rating)
- Should try to bring together business/commercial use and enhanced public and recreational facilities

Option A: What do you like best about this option?

- Potential for jobs in the area, and it extends existing industrial area.
- Good to extend the industrial area next door. There is a need for more industrial and job creation in the area.

Option A: What concerns do you have about this option?

- Not enough green space
- Too much industrial development exists already
- There is already enough development in the area, and with the current economy, more development is probably not profitable. Shouldn’t destroy wildlife.
- We don’t need more industrial area. There are already empty lots in the existing industrial area, and the mill will be closing down in the future, so that space will be vacant too.

Option B: What do you like best about this option?

- It is a good balance between options A and B
- Get a little of everything – preservation of natural space and developed property.
- Good mix between industrial use and green space.
- It is important to maintain green space, especially along the river
- Most realistic option because it is the middle of the road.
- Accessible open space.

Option B: What concerns do you have about this option?

- Not enough green space
- What would be done with the green space? Would like to hear specific plans for this.

Option C: What do you like best about this option?

- Less development; this is better than A or B
- Split between all the different uses. Something for all to enjoy.
- Park space on water front.
- It is important to maintain green space, especially along the river
- Good because it contains the least development.
- Best for maintaining green space
- More green space and lower impact.
- This option does not compromise the aesthetics of the existing trail along the river. It would be nice to have a natural area to visit away from the hustle and bustle of industry. It makes sense to develop the northern part of the property because there is an obstructed view of the river from Hwy 14 anyway.
- This option is good because it minimizes wetlands impact. Wetlands are too difficult to develop and should be left alone; we shouldn't mitigate wetlands and have to develop them elsewhere in exchange.

Option C: What concerns do you have about this option?

- What would be done with the green space? Would like to hear specific plans for this.
- Open space isn't very accessible other than via the dike trail or the Columbia.

Which option do you most prefer and why? What, if anything, could be done to improve your preferred option?

- Option C – More green space, less development. No improvements, keep it as it is.
- Option B – It strikes a balance between uses.
- Option B – Focus on everything. Don't use all acreage for one thing.
- Option A – Job creation.
- Option C – Balance of uses for all.
- Option C – Could add additional open space on the water front, and restaurants.
- Option B – Good mix between industrial use and green space.
- Options B or C – Good for their preservation of green space. Could add restaurants and shops in the land next to the river.
- Option C – because there is already enough industrial development in the area and we don't need more. Could add a Frisbee disco space in the area.

- Options A or C, depending on how it is developed. If development will be purely industrial, would like to see Option C (with little development and lots of green space). If development is business/retail, would like to see Option A (for lots of business growth and just enough green space). We don't need more industrial development; we need more business retail areas with restaurants and shops. Would like to see something like what the new river front project WOULD have been. It is odd to have Cottonwood Beach and industrial development side by side.
- No opinion
- Option C – Best for maintaining green space. Could add a Costco, Fred Meyer, or other one-stop-shopping store for locals and commuters from the east.
- Option B – Could add green space and pedestrian walkways. Add food courts or restaurants. Use alternative energy sources in buildings.
- Option A – Need for more industry and job creation.
- Option C – It minimizes impact to wetlands, and there is enough industrial development already.
- Option C – Creates less development and includes more open space.
- Option B – If investing in infrastructure would need tenants. Option C wouldn't get enough for the investment. Should include more commercial than industrial development, because we have enough industrial in the community now. A lot of it is light except for Prune Hill. Current industrial property is not aesthetically pleasing.
- Option C – Keep area where trail is to be natural.

Is there anything else that you would like to share with us?

- The Port has been really good to us (model plane flying group) and I'm sure we will support their decision.
- It's good that you are asking people about it. People need jobs, but also need natural/green space, too.
- Green space is very important.
- The Port should consider need for industrial space. How many vacancies are there in the current industrial park? Concerned about type of industry; would not like to see heavy chemical or some other hazardous industry.
- There is really not a need for more parks, but the existing parks and Steigerwald should be preserved.

Online Survey (10 responses collected)

Do you work, own property or engage in recreational activities near the East Industrial Park?

Work	4
Own Property/Business	3
Recreational Use	8

Comments:

- Excavator Rental Services – Year round moorage
- Picnic/Hiking
- Hike on dike
- Walking on the dike
- Refuge Manager, Steigerwald Lake NWR
- Walking, biking and running on trail and use of L/C park
- Friends of the Columbia Gorge leads hikes and stewardship events, reviews land use and development proposals, and provides educational opportunities for children in the area.

When considering the purpose of the East Industrial Park, how important are the following to you? (average ratings from the 10 responses)

Creating employment in the region	3.9
Protecting nature reserves	3.8
Enhancing industrial use	3.4
Enhancing business/commercial use	3.1
Enhancing public and recreational facilities	3.3

Option A: What do you like best about this option?

- Maximizes development and rail opportunities
- It makes the most sense for maximizing the ROI for the Port and the taxpayers.
- Highest utilization of land. Industrial parks should be used for job creation, open space considerations should be handled by the parks department. Cottonwood Beach Park provided more than able open space and river access.
- Large amount of developable land
- Not sure
- Nothing

Option A: What concerns do you have about this option?

- Silly island makes no sense
- None.
- The expense of wetlands mitigated off site
- Smooth integration with wildlife refuge.
- Railroad
- Not enough refuge/ green spaces

- Not enough green space. Developed area extends too far to the east.

Option B: What do you like best about this option?

- Should be implemented only if Port is compensated by County Parks.
- I am not in favor.
- It is not as bad as option C; wetlands should be mitigated in space you show as open space and park space
- Not much
- Better parks and green spaces less train
- More green space than option A

Option B: What concerns do you have about this option?

- Should include triangle above Steigerwald as developable.
- It is not in the public's best interest. It does a poor job of maximizing the property's potential.
- Industrial parks do not need internal parks or open space
- Loss of developable land. Lack of using wetlands as a complementary natural feature.
- Railroad
- Not enough greenspace. Development extends too far to the east.

Option C: What do you like best about this option?

- Better layout more green space and parks
- Creates most green space!!! That is a nice area and it would be great to preserve that!!
- This option has the most greenspace and would best protect the recreational and natural resources of the area.

Option C: What concerns do you have about this option?

- Should include triangle above Steigerwald as developable.
- Flat land with good freeway access is of primary concern to industrial users, open space and parks can be addressed at other locations in and around Washougal. Trucks and kids do not mix. Industrial business owners do not want their industrial properties encroached upon recreational users. The dike is a perfect barrier separating the industrial uses from recreational uses.
- Loss of developable land. Traffic access.
- Railroad
- Maximizes incompatible land uses of all options.
- It is a true waste of taxpayer money.
- Less favorable option

Which option do you most prefer and why? What, if anything, could be done to improve your preferred option?

- Option A
- Option A. It is the best way to create jobs, bring in new business, add industrial property, and still create an environmentally sound project.

- Option A for reasons stated in previous question
- Option A: Maximizes developable area. Options B and C do not capture the value of increased open space.
- Option C
- Option C offers the most green space. Why ruin the refuge by surrounding it by industrial space and pollution? The reason I and most people came to this area was the natural landscape. I would have moved into Vancouver or Portland if I wanted to be surrounded by tract home developments and business parks.
- Option C. Provides the most greenspace and has the least impact on the recreational and natural resources of the area.

What, if anything, could be done to improve your preferred option?

- Option A: Add more property to the project.
- Option A: Dike separating incompatible uses is most preferred. Industrial park uses are most compatible with wildlife due to no dogs running around, basically closed during weekends and evenings.
- Option A: Consideration of traffic flow. Use of wetlands and refuge to enhance business environment.
- Option C: Get rid of the rail road
- Option C: I believe there should be a corridor of green space along the entire walking area, even with screening it won't be as pleasant as it is now.
- Option C: Make sure that uses along the Dike Trail and furtheast east in the master planning area are compatible with recreational and natural resources to the south and east.

Is there anything else that you would like to share with us?

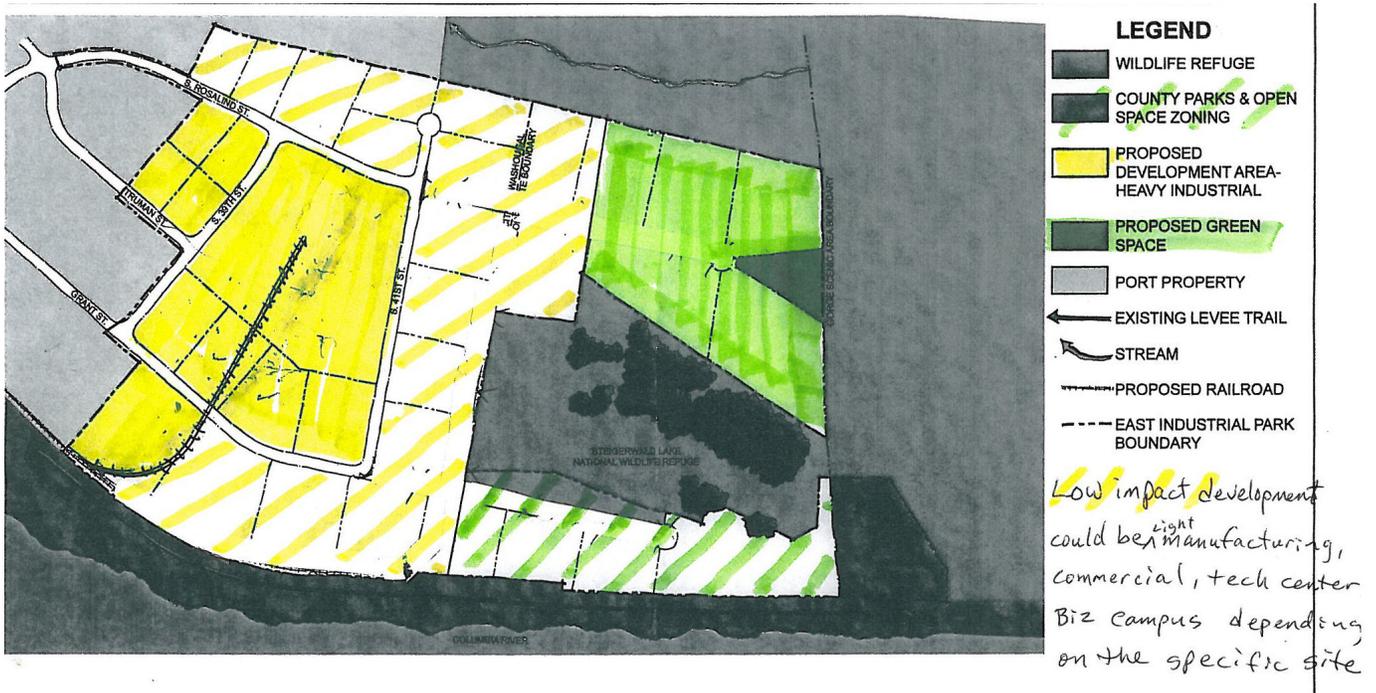
- There is a serious shortage of commercial, highway commercial and industrial property in this area. More needs to be done to help small business grow and prosper in the area, and help recruit new industries to the tax base.
- Industrial land is in very short supply. If we want our children to be able to live and work in Clark County, land needs to be set aside for industrial users. These businesses are the life blood of our community. Any encroachment of their industrial preserve sends a clear signal that they are not welcome in our community.
- The options do not seem to reflect a lot of innovative planning or consideration for integration with existing industrial (West) and refuge (East).
- It's been frustrating to see the downtown development and other areas still going unused. I know according to the city government that's the realtor's problem, but that's a cop out. I've been to the town meetings and told family homes don't create enough taxes, so more businesses need to move in. Do you have anybody interested yet? Why keep developing these areas only to go unused? Maybe the focus should be on getting clients invested in these developments so they are occupied when built. Please be realistic in the development, as we have seen the "build it and they will come" theory does not work. Opposed to the tag line the city keeps using- I want to sit under the tree I paid for!

Additional Comments (3 additional comments)

Additional Comment # 1

Thank you for the opportunity to preview your open house material. After looking it over I am left with the same concern that I have voiced many times, even during the Rezone Assessment. While claiming to be open minded about the possible uses of this area, the Port seems to be leading the process toward industrial only. Even the title "East Industrial Park" gives the message that this is all that is being considered. After looking more carefully at the legend I see that all 3 options show all development to be 'heavy industrial'. I believe you are sincerely considering other possible uses as well, and I haven't heard the commissioners decide to consider only industrial. I hope you could make some changes to present the areas for development in a more neutral way. I have taken just a few minutes to redraw one of your maps as "Option D". Maybe something like it could be considered as well.

Drawing of Option D:



Option D: Proposed development area-heavy industrial in Option A is divided up into:

- Proposed green space extended along the Gorge scenic area boundary and Steigerwald Lake National Wildlife Refuge
- County parks and open space zoning on the south side of the Steigerwald Lake National Wildlife Refuge
- Proposed development area-heavy industrial west of 41st St, inside S. Rosalind St. and Grant St.

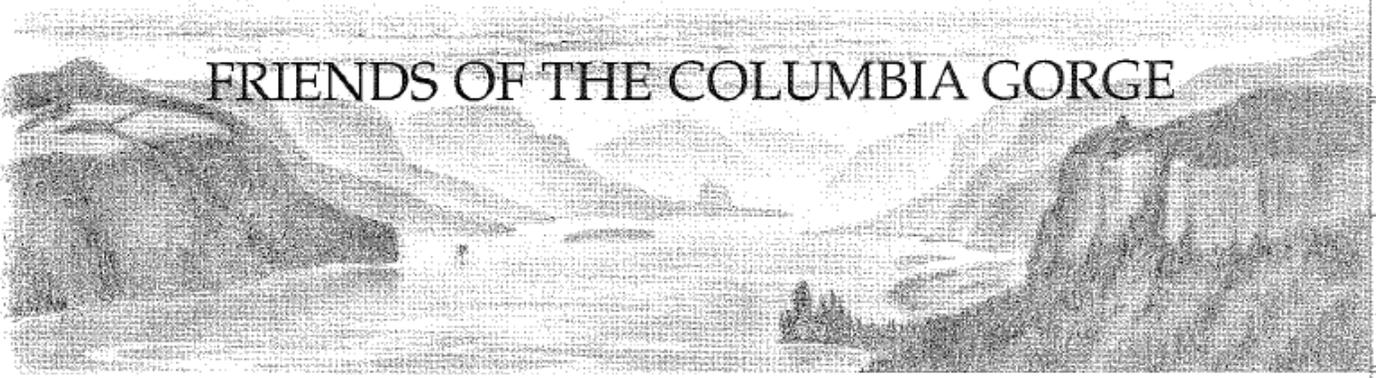
Low impact development (defined as light manufacturing, commercial, tech center, and business campus depending on the specific site) west of Steigerwald Lake National Wildlife Refuge and surrounding the heavy industrial.

Additional Comment # 2

In my opinion, it would be unwise to change the direction of this development away from industrial uses. As a local business owner, I am acutely aware of the lack of industrial space in the Camas/Washougal area so it would appear that there would be great demand for such facilities. The business or technology park idea seems fraught with risk due to the relative isolation of the area, and/or the need to acquire the commitment of a large anchor tenant to insure financial viability of the development. I feel that an industrial park would definitely be the “highest and best use” for this site, while making the most financial sense.

Additional Comment # 3

Letter submitted by the Friends of the Columbia Gorge



FRIENDS OF THE COLUMBIA GORGE

June 26, 2009

David Ripp, Executive Director
Port of Camas-Washougal
24 South A Street
Washougal, WA 98671

RECEIVED

JUN 29 2009

PORT OF CAMAS-WASHOUGAL

Re: East Industrial Park Master Development Plan

Dear Mr. Ripp:

Friends of the Columbia Gorge has reviewed and would like to comment on the preliminary ideas for the East Industrial Park Master Development Plan. Friends is a non-profit organization with approximately 5,000 members dedicated to protecting and enhancing the resources of the Columbia River Gorge through the effective implementation of the Columbia River Gorge National Scenic Area Act. Our membership includes hundreds of citizens who reside within the Columbia River Gorge National Scenic Area.

The Port should revise the "Site Inventory and Analysis Plan" map to depict the existing conditions of the planning area. The map depicts the entire proposed development area in yellow, with the "Enhanced Study Area" depicted in cross-hatch. As a preliminary matter, the "Development Area" should be relabeled the "Planning Area" to distinguish the preliminary map from the three alternative proposals. More importantly, alternative maps should be provided that provide detailed information regarding existing conditions. These maps should include aerial photos, wetland maps, frequently flooded area maps, and Washington Department of Fish and Wildlife inventory maps of the site. This information would assist the public in providing meaningful feedback.

The Port should conduct thorough surveys for sensitive natural resources within and adjacent to the planning area. These surveys should cover water resources, wildlife habitat, and sensitive plant species and habitat. Any identified sensitive resource should be designated as green space and protected from development. The Port should include buffers between areas designated for development and green spaces. The Port should also construct all stormwater retention facilities within the area to be developed. These facilities should be designed to infiltrate all storm water on-site and meet or exceed standards in the applicable Washington Department of Ecology stormwater management manuals.

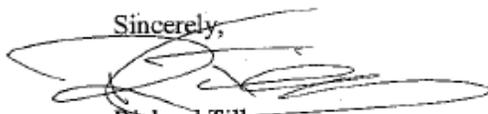
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The Port should include buffers from sensitive natural and scenic resources adjacent to the planning area, including Steigerwald Lake National Wildlife Refuge, the Columbia River Gorge National Scenic Area, and the Dike Trail. The Port should also include measures to screen areas designated for development from sensitive viewpoints. Views that should be given special consideration include the new Gibbons Creek Wildlife Trail, State Route 14 from within the Scenic Area, and the Columbia River. Including buffer strips, screening vegetation, and thoughtful siting and design criteria for development within the Port can dramatically reduce visual impacts to views from these natural settings and help integrate Port development into the natural landscape.

The Port of Camas-Washougal, as a government agency, must also comply with the State Environmental Policy Act, which requires review of the likely direct, indirect, and cumulative environmental impacts of non-project actions such as the adoption of a Master Development Plan.

Assuming the Port achieves compliance with all applicable laws and regulations, Friends would support Land Use Option C, or a variation thereof, so long as it is revised to be consistent with the above-referenced concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Richard Till", written over a horizontal line.

Richard Till
Land Use Law Clerk

cc: Adrienne Dedona, Jeanne Lawson Associates, Inc.